

NOTES:

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IT IS VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND ARCHITECTURE LAW TO PRACTICE AS AN ARCHITECT OR LICENSED PROFESSIONAL ENGINEER TO ALTER ANY ITEM ON THESE PLANS IN ANY WAY. IF ALTERNATION TO THESE PLANS ARE MADE, THE ALTERNATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145-SUBSECTION 2709 OF NEW YORK STATE EDUCATION LAW. THESE PLANS ARE INSTRUMENT OF SERVICE AND THE PROPERTY OF THE FIELD AND QUANTITY OF WORK.

NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

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RELEASE STATUS OF DRAWING ISSUED FOR:

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- PROGRESS PRINT
- PRACTICAL RELEASE
- FULL RELEASE

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IF YOU COULD DREAM IT WE WILL DESIGN IT

No.	Revision	Date
3	Modified party walls and shaft walls	3/5/02
2	Revised roof plan to show sixth floor and meet with under 9/24/01	8/22/01
1	Addition of sixth floor	8/22/01

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Signature/Professional Seal

Orientation



NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT OR ENGINEER-ON-RECORD AND APPROVED BY THE DEPARTMENT OF BUILDINGS, NYC.

Project name:
Proposed New (4) Four, (6) Six Story & Cellar (5) Five Family Dwelling and Community Facility located @ 91, 93, 97, 99 South 3RD Street and 305 Berry Street Brooklyn, New York

Drawing title:
CELLAR FLOOR PLAN
(1 Part)

Scale	Project No.	Drawing No.
3/16"=1'-0"	99-101	A-5b
Drawing Date:	Drawing by:	
5/31/99		

CELLAR PLAN NOTES

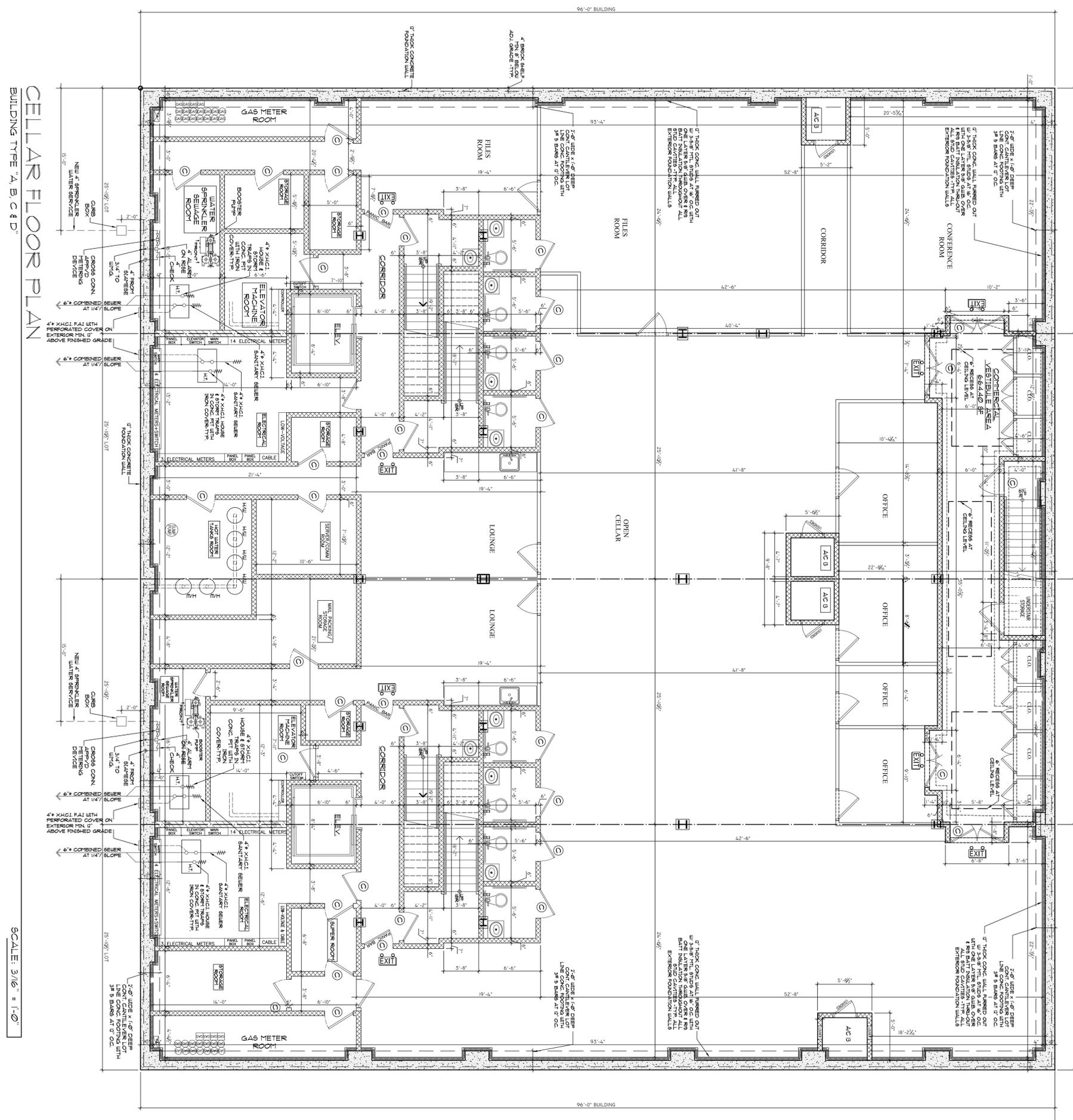
1. Always use dimensions as shown. Drawings not to be scaled.
2. F.D. Denotes floor drain.
3. H.R. Denotes handrail (shall comply with section C27-215(f)).
4. M.S. Denotes marble saddle.
5. Provide mechanical ventilation for interior baths/kitchens/etc. For additional information, see note Number 60, drawing Number N-1.
6. Area of duct space not to exceed two (2) square feet. See partition legend and drawing Number D-1.
7. Storage room and garage ceiling to be provided with two (2) layers of fire code type "X" sheetrock (two hour fire rated).
8. Footings to sit on virgin undisturbed soil, having a minimum bearing capacity of two (2) tons per square foot.
9. Footing at front of building to be carried down below the level of house sewer, where house sewer passes through foundation wall.
10. Prior to the placement of cellar concrete floor slab, contractor shall retain a licensed Professional Engineer to determine the bearing capacity of the soil under the slab. His findings shall be reported to the Architect in writing. Any change in slab design from that shown on the approved, shall be filed as an Amendment by a Licensed Professional Engineer.
11. Provide web stiffeners where one piece of steel frames into another.
12. For construction of bearing partitions, where applicable, see partition Legend Drawing Number D-1.
13. Fireproof all interior columns per Detail _____, where applicable.

SPRINKLER NOTES

1. INSTALLATION OF SPRINKLER SYSTEM TO COMPLY WITH SUB-CHAPTER 17 AND R 617-2 OF THE BUILDING CODE OF THE CITY OF NEW YORK AND NFPA STANDARD 13 (INSTALLATION OF SPRINKLER SYSTEMS).
2. DOMESTIC WATER SUPPLY LINE FROM STREET TO BE AT LEAST THE SIZE OF SPRINKLER LINE.
3. DOMESTIC WATER SUPPLY LINE FROM STREET SHALL HAVE THE REQUIRED PRESSURE AS PROVIDED IN SECTION C27-963.
4. ALL PARTS OF THE SPRINKLER SYSTEM THAT MAY BE EXPOSED TO FROST SHALL BE PROTECTED FROM FREEZING BY ONE OF THE FOLLOWING METHODS AS PER SECTION C27-966 AND C27-949 B.C.
 - (A) THE PIPING SHALL BE FROST-PROTECTED WITH INSULATION HAVING A THERMAL CONDUCTANCE OF 0.1 B.T.U. PER HOUR PER SQUARE FOOT OF SURFACE PER DEGREE FAHRENHEIT AT A MEAN TEMPERATURE OF 10° F TO 75° F. INSULATION SHALL BE PROTECTED TO PREVENT WATER INFILTRATION AND WHEN EXPOSED TO THE WEATHER THE INSULATION SHALL BE COVERED WITH A FORTY-FIVE POUND ROOFING FELT JACKET OR EQUIVALENT.
 - (B) STEAM OR ELECTRIC TRACERS MAY BE USED IN CONJUNCTION WITH THE INSULATION.
5. PRIOR TO THE INSTALLATION OF SPRINKLER SYSTEM, CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO GUARANTEE MINIMUM WATER PRESSURE AT THE ELEVATION OF THE HIGHEST SPRINKLER AS PER BUILDING CODE DEPARTMENT RULES AND REGULATIONS, SECTION C27-963 AND TABLE 2-2.11 (a).
6. PRIOR TO FABRICATION OF THE WORK PERFORM HYDRAULIC CALCULATIONS AND PREPARE SHOP DRAWINGS IN ACCORDANCE WITH NFPA 13. MAKE ANY ADJUSTMENTS TO THE LAYOUT OR SIZING SHOWN ON THE PLANS REQUIRED BY THESE CALCULATIONS. SUBMIT COPIES OF THE CALCULATIONS AND SHOP DRAWINGS TO THE BUILDING DEPARTMENT IF APPROVED, AND A COPY TO THE ARCHITECT FOR APPROVAL.
7. SPRINKLER PIPING SHALL BE BLACK STEEL, SCHEDULE 40 ASTM A53 WITH MALLEABLE IRON FITTINGS, SCREWED TYPE PER ANSI/ASME B16.3.
8. PURGE ALL NEW SPRINKLER LINES PRIOR TO SPRINKLER HEADS FINAL CONNECTIONS.
9. SPRINKLER SYSTEM MODIFICATION SHALL BE TESTED AND WITNESSED BY THE FIRE SUB-CODE OFFICIAL.

- A. BUILDING AREA=103'-6" X 96'-0 = 9,936.00 S.F.
- B. USABLE/LEASEABLE S.F.: SPACE THE TENANT WILL ACTUALLY OCCUPY. 9,936.00 - (387.22+387.22+664.40+2.122.16) = 8,375.5 S.F.
- C. RENTABLE S.F.: SPACE THAT THE TENANT MUST PAY RENT ON. IT IS THE USABLE/LEASEABLE S.F., PLUS TENANT'S PRO-RATA SHARE OF COORIDORS, HALLWAYS, UTILITY ROOMS/CLOSETS, FIRE-SPRINKLER ROOMS, GAS/AND ELECTRIC ROOMS, ETC. OR BY MULTIPLYING THE USABLE/LEASEABLE S.F. BY THE LOAD FACTOR. RENTABLE S.F.= 7,268 S.F.

- D. TENANT PRO-RATA SHARE / LOAD FACTOR (PROPORTIONATE SHARE) ATTRIBUTABLE TO A PARTICULAR TENANT FOR ACCESS TO A COMMON AREA, IN COMMERCIAL REAL ESTATE. THE LOAD FACTOR IS NORMALLY BETWEEN THE RANGE OF 1.15-1.20. BUT THE RATIO IS SPECIFIC TO THE PROPERTY TYPE, AMONG OTHER VARIABLES.



CELLAR FLOOR PLAN

SCALE: 3/16" = 1'-0"

BUILDING TYPE "A, B, C & D"